



VILLAGE *of* NORTHPORT
INCORPORATED IN 1894

224 Main Street, Northport, New York 11768, 631-261-7502, fax: 631-261-7521

May 21, 2020

Mr. Michael Vedder
Five Dolphin Lane
Northport, NY 11768

Dear Michael Vedder:

Re: Building Permit Application No. 20-055 – Addition/Alteration-Construct front yard roofed-over masonry porch 247sqft, and great room 380sqft at rear of dwelling. Five Dolphin Lane, Northport, N.Y. S:4 B:3 L: 21
Residence District B

Your application to construct a front yard roofed-over masonry porch and great room at the rear of dwelling at the above-referenced address is hereby denied. Review of the proposed site plan by Mark Wittenberg, R.A., P.C. dated 5/8/20 based upon a survey by Gary Benz, L.S. Surveying and Land Planning dated 10/8/19 indicates that this is a non-conforming lot specific to Front Yard Setback. Examination of Site Plan A1, dated 5/8/20, by Mark Wittenberg, R.A., P.C. indicates the proposed porch construction would create a front yard of 43.2' and therefore is an addition to an existing nonconforming front yard.

The proposed construction is, therefore, in violation of the Code of the Village of Northport, Chapter 306, "Zoning," Section 306-22F (2); which requires a minimum front yard depth of 50 feet in the Residence B District.

If you wish to file for variance relief from the Northport Zoning Board of Appeals, you may contact Georgina Cavagnaro at (631) 261-7502.

Sincerely,

INC. VILLAGE OF NORTHPORT

Donald Tesoriero
Asst. to the Mayor/CEO

cc: Village Attorney
ZBA Secretary



An original and seven copies of this application must be filed with the Village clerk together with a filing fee of \$250.00 for each location.

INC. VILLAGE OF NORTHPORT
BOARD OF ZONING APPEALS
APPLICATION

Date 06/02/2020

Applicant Name MARK WITTENBERG R.A.P.C.
(Please Print)

Address 1055 PARK AVENUE HUNTINGTON NY 11743

Telephone No. 631 673-0980 Email Address: MWITTEN@aol.com

Owner Name MICHAEL VEDDER

Address 5 DOLPHIN LAKE NORTHPORT NY 11768

1. Application is hereby made for a variance or permit under Chapter 306, SECT 306-22 F(2)

2. Location of Property 5 DOLPHIN LAKE NORTHPORT NY 11768

3. Location in Zone Designated as RES B

4. Reason for this request PRACTICAL DIFFICULTIES PREVAIL WHEN PROPOSING A R/O WHERE THE PROPOSED FRONT YARD SET BACK IS 43.2' AND THEREFORE 6.8' LESS THAN THE REQUIRED 50' FRONT YARD AS REQUIRED IN A RES B DESIGNATION.

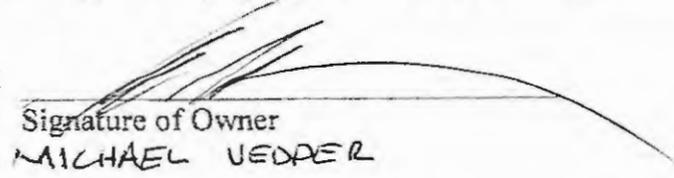
5. Name and address of all property owners within 200 feet of the premises:
(Mailing must be accomplished 14 days prior to hearing date and proof presented at the hearing)

6. Is there a school, or church within 200 feet of the premises? NO

7. Approximate cost of work involved \$ + 810,000.00

8. Type of road LOCAL ROAD width + 3,500 SF

The undersigned hereby certifies that (he/she) (is/are) the owner(s) of the property referred to in this application and has (have) read the notice below.


Signature of Owner
MICHAEL VEDDER

NOTICE TO APPLICANTS TO BOARD OF ZONING APPEALS

Be advised that the Board must base its decisions on affirmative evidence. All determinations will, therefore, rest on presentation of factual proof.

The Board is bound by law in rendering decisions to follow the criteria set forth in the zoning ordinance and the burden is upon the applicant to present facts which satisfy these criteria.



617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

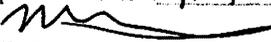
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
VANDER RESIDENCE			
Name of Action or Project:			
5 DOLPHIN LANE Northport NY 11768			
Project Location (describe, and attach a location map):			
5 DOLPHIN LANE Northport NY 11768 125.59' North of North Lw Ave, ON CURST SIDE			
Brief Description of Proposed Action:			
NEW ROOFED OVER FRONT PORCH (2475 SF) REQUIRE A FRONT YARD VARIANCE.			
Name of Applicant or Sponsor:		Telephone: 631 673 0980	
MARK WITENBEIT K.A., P.C.		E-Mail: MWITEN@aol.com	
Address:			
655 PARK AVE			
City/PO:		State:	Zip Code:
HUNTINGTON		NY	11743
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO YES
If Yes, list agency(s) name and permit or approval: Village of Northport BUILDING PERMIT			X
3.a. Total acreage of the site of the proposed action?		0.66 acres	
b. Total acreage to be physically disturbed?		0.666 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?			X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	X
b. Are public transportation service(s) available at or near the site of the proposed action?			X
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>N/A</u>	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	X
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	X
b. Is the proposed action located in an archeological sensitive area?			X
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			X
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	X
16. Is the project site located in the 100 year flood plain?	NO	YES	X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	X
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____			X

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: MARK WITTENBERG, R.A. Date: 06/02/2020
Signature: 

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing:		
a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	
Date	
Print or Type Name of Responsible Officer in Lead Agency	
Title of Responsible Officer	
Signature of Responsible Officer in Lead Agency	
Signature of Preparer (if different from Responsible Officer)	

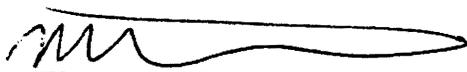
INC. VILLAGE OF NORTHPORT
BOARD OF ZONING APPEALS
CHECKLIST

This sheet must be completed, signed, and returned with your application.

Please answer the following questions:

- Yes Is the need for the variance or other relief listed on the application?
- Yes Does the Letter of Denial reflect all structures and improvements that need legalization on your property? ALL STRUCTURES on the lot must have a Certificate of Occupancy or must be legalized via this application process.
- Yes Are there eight (8) copies of the letter of denial?
- Yes Are there eight (8) copies of a legible survey showing all existing structures or improvements on the lot, (with their dimensions) and exact distances from all property lines?
- Yes Are all proposed improvements (with their dimensions) and exact distances from the property lines and set backs noted on the survey? SITE PLAN
- Yes Is the size and configuration of all improvements, including a side view of the existing and proposed improvements with elevation measurements included with the site plan?
- Yes Is the approximate contour of the grade surrounding the improvement contained on the site plan? (Only applicable if the grade effects the applicant's ability to construct an improvement) NOTED PROBABLY PLAT
- N/A Is the size and location of any vegetation, trees, cesspools, or natural conditions affecting the applicant's ability to construct the improvement noted on the site plan? N/A

I have read and answered all of the above questions.



APPLICANT SIGNATURE

4-3-21 TAX MAP NO. LOCATION 5 Dalphin Lane
 FILED MAP Rolling Ridge, Sec 3
 LOT NO. 54

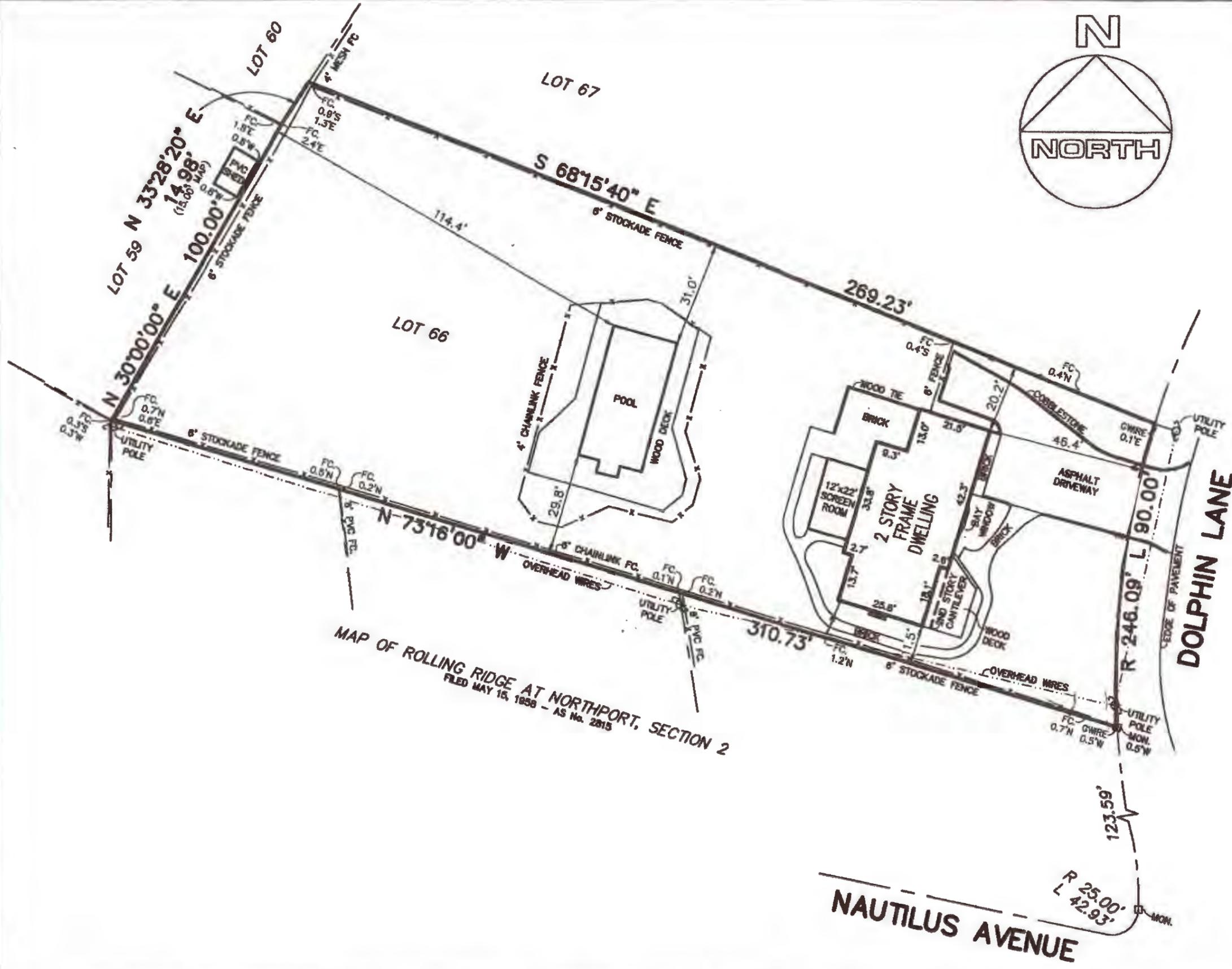
PERMIT NO.	DATE	CO DATE	VARIANCE NO.	DATE
64-87 Steel porch	7/2/11	-		
60-31 Residence	6/27/60	12/7/60		
83-85 Access Pole	8/19/83	4/24/84		
64-87 renewed - 12'x20' porch	10-9-19	10-10-19		
20-15 int. add/alt.	2-8-20			
20-15P Plumbing	2-8-20			

LETTER IN LIEU OF CO DATE _____
 ZONING STATUS _____
 SPECIAL USE PERMIT FOR:

 _____ DATE _____

REMARKS:





S.C.T.M. NO.
404 - 4 - 3 - 21
SURVEY OF:
LOT No. 66
MAP OF
ROLLING RIDGE AT NORTHPORT
SECTION 2
FILED OCT. 7, 1959 - AS No. 3069
SITUATED IN: INCORPORATED VILLAGE OF
NORTHPORT
TOWN OF: HUNTINGTON
SUFFOLK COUNTY, NEW YORK
DATE: 10/8/2019
JOB NO. G19-5172
SCALE: 1" = 30'

GUARANTEES INDICATED SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND/OR AGENCY, AND ARE NOT TRANSFERABLE.

CERTIFIED TO:
Michael Vedder
PrimeTime Title Agency, LLC
Stewart Title Insurance Company of New York
Wells Fargo Bank, N.A., ISAOA.

GARY BENZ, L.S.
Surveying and Land Planning
527-B Hawkins Avenue
Ronkonkoma, N.Y. 11779
GaryBenzLS@yahoo.com
(631) 648-9348

THE EXISTENCE OF RIGHT OF WAYS, WETLANDS, UNDER GROUND UTILITIES AND/OR EASEMENTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID.

DEFENDANT'S EXHIBIT
4

ARCHITECTURAL

THE DUTIES OF THE ARCHITECT AND HIS EMPLOYEES OR AGENTS SHALL TERMINATE WITH THE COMPLETION AND DELIVERY OF WORKING DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION, NOR DOES THE ARCHITECT HAVE AUTHORITY TO ACT ON BEHALF OF THE OWNER OR THE CONTRACTOR UNLESS NOTED OTHERWISE IN WRITING.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THE CONTRACTOR OR ANY SUB CONTRACTOR OR ANY OF THE CONTRACTORS OR SUB CONTRACTORS EMPLOYEES OR AGENTS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY ON THE JOB SITE, AND THAT THESE RESPONSIBILITIES ARE INTENDED TO AND TO REMAIN THE SOLE RESPONSIBILITIES OF THE CONTRACTOR(S).

BY ACCEPTANCE OF THESE DRAWINGS, THE OWNER AGREES TO ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE OR SETTLEMENT, OR CRACKING, ETC. OF NEW CONSTRUCTION AND WILL NOT HOLD THE ARCHITECT RESPONSIBLE FOR THIS POSSIBILITY.

THESE ARCHITECTURAL DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN AUTHORITY OF THE ARCHITECT.

ALL SURVEYS, TEST BORINGS, ENGINEERING REPORTS, OR OTHER SIMILAR STUDIES REQUIRED FOR THE PREPARATION OF THESE CONSTRUCTION DOCUMENTS AND/OR ARE REQUIRED DURING THE SUBSEQUENT CONSTRUCTION PHASE OF THE PROJECT SHALL BE PROVIDED BY THE OWNER.

GENERAL

THE ARCHITECT SHALL ASSIST THE OWNER IN FILING AND OBTAINING ALL LOCAL BUILDING DEPARTMENT APPROVALS FOR THE CONSTRUCTION DOCUMENTS OF THIS PROJECT. ALL FEES RELATED TO THIS APPROVAL PROCESS SHALL BE PAID FOR BY THE OWNER. UPON BUILDING DEPARTMENT APPROVAL OF SAID DOCUMENTS, THE GENERAL CONTRACTOR IS NOW RESPONSIBLE FOR TAKING OUT AND PAYING RELATED FEES FOR THE BUILDING PERMIT AND ALL FOLLOWING PERMITS UNTIL THE "CERTIFICATE OF OCCUPANCY" IS SECURED.

CONTRACTOR(S) SHALL PERFORM ALL WORK IN COMPLIANCE WITH ALL APPLICABLE CODES, CODE AMENDMENTS, STANDARDS, ORDINANCES, RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 LOCAL ZONING ORDINANCES
 LOCAL BUILDING DEPARTMENT REQUIREMENTS
 RESIDENTIAL CODE OF NEW YORK
 ENERGY CODE OF NEW YORK

CONTRACTOR SHALL CONFORM WITH THE NYS BUILDING CODE SAFETY OF PUBLIC AND PRIVATE PROPERTY DURING CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE INTENT OF THE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS MUST BE REPORTED TO THE ARCHITECT OR OWNER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THEIR WORK THE EFFECT OF ALL EXISTING CONDITIONS.

SITE WORK

THE CONTRACTOR SHALL STAKE AND LAY OUT ALL WORK AS SHOWN ON DRAWINGS AND VERIFY ALL EXISTING DATA PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL (UNLESS OTHERWISE DIRECTED BY OWNER) INCLUDE IN HIS (HER) WORK THE REMOVAL OF ALL SHRUBS AND TREES WITHIN THE AREA OF WORK, AND TRANSPLANTING OF SAME TO LOCATION(S) AS DIRECTED BY THE OWNER.

THE CONTRACTOR SHALL EXERCISE GOOD JUDGMENT IN MINIMIZING DAMAGE TO EXISTING AREAS (INCLUDING LAWNS AND SHRUBS).

ALL EARTH/GRASS SURFACES DAMAGED OR DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION. WORK MAY INCLUDE NEW BACK FILL, TOPSOIL AND RE SEEDING WITH FERTILIZER TO MATCH EXISTING ADJACENT AREAS.

DEMOLITION

REFER TO CONSTRUCTION DOCUMENTS FOR SPECIFIC DEMOLITION LOCATIONS AND NOTES.

WHERE EXISTING WALLS ARE SHOWN TO BE REMOVED AND/OR NEW OPENINGS ARE CALLED FOR IN EXISTING WALLS, THE CONTRACTOR SHALL BRACE/SUPPORT ROOF, CEILING AND/OR WALLS PRIOR TO REMOVAL OF EXISTING WALLS, CEILING JOISTS AND/OR ROOF RAFTERS AND TO MAINTAIN SUCH CONDITION(S) UNTIL NEW HEADERS, BEAMS OR WALLS ARE INSTALLED AS SPECIFIED.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE PROJECT AT ALL TIMES.

ANY DISCREPANCIES RELATED TO THE DRAWINGS WITH THE ACTUAL STRUCTURAL CONDITIONS THAT EXIST SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT WITH SAID WORK.

FOUNDATIONS AND FOOTINGS

PRIOR TO EXCAVATING THE GENERAL CONTRACTOR IS TO LOCATE ALL UNDERGROUND UTILITIES (GAS, WATER, ELECTRIC, SEPTIC, SEWER, ETC.) AND NOTIFY ARCHITECT OF ANY CONFLICTS WITH PROPOSED WORK.

FOUNDATIONS AND FOOTINGS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CODE OF NEW YORK STATE, CHAPTER 17 (INCLUDING, BUT NOT LIMITED TO REINFORCING, ETC.) UNLESS OTHERWISE NOTED.

FOOTINGS SHALL BEAR ON ACCEPTABLE UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF TWO THOUSAND POUNDS PER SQUARE FOOT (VERIFY IN FIELD) AND SHALL EXTEND 3'-0" MIN. BELOW FINISHED GRADE.

EXCAVATE AND BACK FILL IN A MANNER AND SEQUENCE THAT WILL PROVIDE PROPER DRAINAGE AT ALL TIMES.

HAND TRIM FOUNDATION EXCAVATIONS TO FINAL GRADE JUST BEFORE CONCRETE IS PLACED AND COMPACTED WITH A HAND OPERATED PLATE TYPE COMPACTOR.

FILL MATERIAL TO BE ACCEPTABLE SAND, GRAVEL OR COMBINATION OF BOTH WHICH MAY CONTAIN SMALL AMOUNTS OF STONES OR PEBBLES OVER ONE INCH IN LARGEST DIMENSION, BUT NONE OVER TWO INCHES, BUT DOES NOT CONTAIN CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, AND FROZEN MATERIAL.

MOISTURE/CONDITION FILL MATERIAL BY ADDING OR WATERING AND THOROUGHLY MIXING MATERIAL TO OBTAIN OPTIMUM MOISTURE CONTENT PERMITTING PROPER COMPACTION.

SPREAD ACCEPTABLE FILL MATERIAL UNIFORMLY IN LAYERS NOT GREATER THAN EIGHT INCHES OF LOOSE THICKNESS OVER ENTIRE FILL AREA.

USE HAND TAMPERS OR VIBRATING COMPACTORS AT FOUNDATION WALLS, RETAINING WALLS OR SIMILAR LOCATIONS. DO NOT USE LARGE ROLLING EQUIPMENT ADJACENT TO FOUNDATION AND RETAINING WALLS.

DO NOT BACK FILL AND COMPACT AGAINST FOUNDATION AND RETAINING WALLS UNTIL CONCRETE HAS REACHED DESIGN STRENGTH AND WALLS ARE PROPERLY BRACED BY ADJACENT CONSTRUCTION OR TEMPORARY MEANS ACCEPTABLE AND APPROVED BY THE ARCHITECT.

COMPACT SUB GRADES WITH A VIBRATORY ROLLER.

SOIL COMPACTIONS AND DENSITIES SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D1557 METHOD C. COMPACT UNDER SLABS FOUNDATIONS AND FOOTINGS AT ONE HUNDRED PERCENT OF MAXIMUM DENSITY. COMPACT BACK FILL AT WALLS, EMBANKMENTS, AND UNDER PAVED AREAS AT NINETY PERCENT OF MAXIMUM DENSITY.

STRUCTURAL STEEL

STRUCTURAL STEEL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE BUILDING CODE OF NEW YORK STATE, CHAPTER 22, UNLESS OTHERWISE NOTED.

ALL STRUCTURAL STEEL SHALL BE ASTM A36 AND CONFORM TO THE RECOMMENDATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC). STEEL TUBES SHALL BE ASTM A500 GRADE B.

ALL CONNECTIONS SHALL BE MADE WITH 3/4" DIAMETER COMMON BOLTS OR WELDS BY A QUALIFIED WELDER USING E-70XX ELECTRODES.

ANCHOR PIPE COLUMNS TO FOUNDATIONS WITH TWO 3/4" DIAMETER BOLTS EMBEDDED 1'-4" MINIMUM INTO CONCRETE. USE STEEL SHIMS AND NON SHRINK GROUT TO ADJUST HEIGHT.

REINFORCED CONCRETE

CONCRETE SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE, CHAPTER 4, UNLESS OTHERWISE NOTED.

ALL CONCRETE WORK SHALL CONFORM TO APPLICABLE RECOMMENDATIONS OF THE AMERICAN CONCRETE INSTITUTES (ACI).

ALL CONCRETE SHALL BE STONE CONCRETE (3/4" COARSE AGGREGATE) HAVING A MINIMUM STRENGTH OF 3000 PSI AT TWENTY-EIGHT DAYS EXCEPT SLABS ON GRADE WHICH SHALL HAVE A MINIMUM STRENGTH OF 4000 PSI AT TWENTY-EIGHT DAYS.

REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OS ASTM 615 FOR GRADE 60, BE CONTINUOUS AND HAVE MINIMUM LAPS OF FORTY DIAMETERS.

WELDED WIRE FABRIC (WWF) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A185, FLAT SHEETS ONLY.

REINFORCED CONCRETE (CONT.)

CONCRETE IN FOUNDATIONS AND SLABS EXPOSED TO WEATHER AFTER COMPLETION OF THE PROJECT SHALL CONTAIN FIVE PERCENT (+/-) BY VOLUME OF ENTRAINED AIR AS PER ASTM C331.

SLUMP SHALL BE FOUR INCHES AND ALL CONCRETE SHALL BE CONSOLIDATED BY ADEQUATE VIBRATORS.

KEEP CONCRETE SURFACES NOT COVERED BY FORMS PROTECTED FROM LOSS OF SURFACE MOISTURE FOR NOT LESS THAN SEVEN DAYS.

SLABS ON GRADE SHALL BE PLACED IN SECTIONS NOT EXCEEDING NINE HUNDRED SQUARE FEET WITH THIRTY FOOT MAXIMUM SIDE LENGTH. ALL CONCRETE SLABS SHALL HAVE STEEL TROWELLED FINISH UNLESS OTHERWISE NOTED, AND SHALL BE REINFORCED WITH EN6-10/10 WWF LOCATED ONE INCH FROM THE TOP SURFACE.

NEW FORMS SHALL BE USED FOR ALL FOUNDATION WALLS.

TIMBER FRAMING

TIMBER FRAMING SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE, CHAPTER 15 (FLOORS), CHAPTER 6 (WALL CONSTRUCTION), CHAPTER 8 (ROOF & CEILING CONSTRUCTION), UNLESS OTHERWISE NOTED.

FRAMING LUMBER SHALL BE SQUARE EDGE, STRAIGHT, SOUND, WELL-SEASONED, MAXIMUM MOISTURE CONTENT OF NINETEEN (19) PERCENT AT TIME OF INSTALLATION. LUMBER SHALL BEAR THE GRADE AND TRADEMARK OF THE ASSOCIATION BY WHOSE RULES IT IS PRODUCED. SIZES INDICATED ARE NOMINAL STANDARD SIZES.

FRAMING LUMBER SHALL BE STRESS RATED DOUGLAS FIR No. 2 OR HEM FOR No. 2 WITH A STRESS RATING OF 875 AND 800 PSI RESPECTIVELY FOR BENDING FOR SINGLE MEMBER USE AND 95 AND 75 MIN. FOR SHEAR.

PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS OVER 6'-0" IN LENGTH.

PROVIDE SOLID BRIDGING BETWEEN JOISTS AT 6'-0" O.C. MAXIMUM.

UNLESS OTHERWISE NOTED, ALL WINDOW AND DOOR OPENINGS SHALL HAVE 2"x2"x1/2" WITH 1/2" PLYWOOD BETWEEN HEADERS ABOVE.

ALL SILL PLATES IN CONTACT WITH FOUNDATION WALLS TO BE PRESSURE TREATED AND HAVE CONTINUOUS COPPER TERNE SHEATHS. SILL PLATES SHALL BE BOLTED TO FOUNDATIONS WALLS WITH 1/2" DIAMETER BOLTS AT MINIMUM 2' O.C. AND MAXIMUM 1'-0" FROM EACH END OF EACH PLATE. BOLTS MUST BE EMBEDDED A MINIMUM OF 7" INTO FOUNDATION WALLS. FORCE MORTAR INTO THE JOINT BETWEEN SILL BOTTOM AND TOP OF FOUNDATION.

ALL SUBFLOORING, WALL AND ROOF SHEATHING SHALL BE EXTERIOR GRADE OX PLYWOOD. SUBFLOORING-3/4", WALL SHEATHING-1/2", ROOF SHEATHING-5/8".

ALL BUILT-UP WOOD GIRDERS AND HEADERS SHALL NOT HAVE ANY SPLIT ON THE WIDE FACE OF ANY MEMBER GREATER THAN 1/2 TIMES THE WIDE FACE.

ALL EXPOSED WOOD FOR SOFFITS, OVERHANGS, ETC. SHALL BE APPROVED EXTERIOR GRADE. (PAINTED ALL SIDES AND ENDS)

ALL TIMBER CONNECTIONS SHALL BE MADE WITH JOIST HANGERS, FRAMING ANCHORS, OR RAFTER ANCHORS OF MINIMUM 18 GAUGE PRIME GALVANIZED STEEL AS MANUFACTURED BY TENO OR SIMPSON.

ALL TIMBER CONNECTIONS IN CONTACT WITH A/C3 PRESSURE TREATED LUMBER FOR EXTERIOR FRAMING, SHALL BE FASTENED AS PER MANUFACTURERS RECOMMENDED FASTENER USING TYPE 304 OR 316 STAINLESS STEEL CONECTORS AND FASTENERS.

ALL STRUCTURAL COMPOSITE LUMBER IS TO BE MANUFACTURED BY TRU-JOIST CORP., P.O. BOX 60 BOISE (IDAH) 83707 OR APPROVED EQUAL ASSEMBLY AND, INSTALL AS PER MANUFACTURERS INSTRUCTIONS. MICROLAM (MLL) TO BE EN-18 AND PIALAM (P.L.) TO BE EN-20.

MAINTAIN TO CONFORM TO SCHEDULES INDICATED IN THE RESIDENTIAL CONSTRUCTION CODE OF YORK STATE, VARIOUS CHAPTERS, AND AS RECOMMENDED BY THE METAL CONNECTOR MANUFACTURER.

LEAVE 1/8" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.

PROVIDE SOLID BRIDGING FROM TOP OF GORDER OR FOUNDATION WALL TO THE UNDERSIDE OF FLOOR AT WOOD POSTS. ALL WOOD POSTS SHALL BE 4"x4" MINIMUM (UNLESS OTHERWISE NOTED.)

MECHANICAL

ALL NEW MECHANICAL PIPING/DUCTWORK DESIGN, EQUIPMENT AND INSTALLATIONS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE, PART IV - FUEL GAS, CHAPTER 14 - FUEL GAS, UNLESS OTHERWISE NOTED AND ALL LOCAL CODES AND ALL APPLICABLE ASHRAE AND SMANOA STANDARDS.

THE HVAC CONTRACTOR SHALL VERIFY THE SIZE/PERFORMANCE OF THE EXISTING SYSTEM(S) AND CALCULATE THE NEW REQUIREMENTS TO DETERMINE IF THE EXISTING SYSTEM(S) WILL BE ADEQUATE TO ACCOMMODATE THE NEW ADDITION. IF THE EXISTING SYSTEM(S) ARE NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN HIS/HER BID THE COST OF EXPANDING THE SYSTEM(S) AS REQUIRED FOR PROPER PERFORMANCE.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR MODIFICATIONS AND EXTENSIONS OF THE EXISTING HEATING SYSTEM INCLUDING RELOCATION/REROUTING OF EXISTING PIPING/DUCTWORK, ETC.

THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR INSTALLATION OF NEW AIR CONDITIONING SYSTEM EQUIPMENT, DUCTWORK, DIFFUSERS, THERMOSTATS, ETC.

CONTRACTOR SHALL REMOVE EXISTING AND PROVIDE NEW PERIMETER BASEBOARD CONVECTORS (CONVECTOR TO BE SELECTED BY OWNER) THROUGHOUT ENTIRE EXISTING FIRST FLOOR. CONTRACTOR TO PROVIDE NEW PERIMETER BASEBOARD CONVECTORS THROUGHOUT ENTIRE NEW SECOND FLOOR AND FIRST FLOOR ADDITIONS. CONTRACTOR TO PROVIDE UNDER COUNTER CONVECTORS IN KITCHEN AS REQUIRED.

THE CONTRACTOR SHALL VERIFY THE SIZE AND DETERMINE IF THE EXISTING ELECTRICAL SERVICE WILL BE ADEQUATE FOR NEW AND EXISTING LOADS COMBINED. IF SERVICE IS NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN HIS/HER BID THE COST OF INCREASING THE ELECTRICAL SERVICE ACCORDINGLY.

ALL EXISTING WIRING AND OUTLETS WHICH ARE REMOVED DUE TO DEMOLITION ARE TO BE HANDLED IN STRICT CONFORMITY WITH THE NATIONAL ELECTRIC CODE (N.E.C.).

ULL APPROVED SMOKE/HEAT DETECTORS INDICATED ON THE DRAWINGS ARE TO BE WIRED INTO THE ELECTRICAL SYSTEM. BATTERY OPERATED DETECTORS ARE NOT ACCEPTABLE.

ALL WIRING SHALL BE MINIMUM #12 AND #14 (AS REQUIRED) COPPER. NO ALUMINUM WIRE WILL BE PERMITTED.

CONVENIENCE DUPLEX RECEPTACLES SHALL BE 15 AMP, 125 VOLT, 2 POLE, 3 WIRE, GROUNDING TYPE. PROVIDE GROUND FAULT RECEPTACLES WHERE REQUIRED BY THE N.E.C. AT ALL "WET" AREAS.

ALL NEW INTERIOR/EXTERIOR LIGHTING FIXTURES WILL BE PROVIDED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION.

ALL EXISTING RECEPTACLES, SWITCHES, ETC. SHALL BE REPLACED WITH NEW "DECORA" RECEPTACLES, SWITCHES, ETC. ALL NEW ADDED SWITCHES, RECEPTACLES, ETC. TO BE "DECORA". GENERAL LOCATIONS OF ALL NEW RECEPTACLES, SWITCHES, JUNCTION BOXES, ARE INDICATED ON DRAWINGS. COORDINATE EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

PROVIDE POWER, RECEPTACLES AS REQUIRED FOR APPLIANCES AS SHOWN. COORDINATE EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

ELECTRICAL

ALL ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE, PART VII, CHAPTERS 35 THROUGH 41, UNLESS OTHERWISE NOTED, AND ALL LOCAL CODES AND/OR ALL REGULATIONS OF THE LOCAL UTILITY COMPANY. ALL MATERIALS AND EQUIPMENT SHALL BEAR THE LABEL OR APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. UNDERWRITERS CERTIFICATION SHALL BE DELIVERED TO THE OWNER BY THE GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE OF THE WORK.

THE CONTRACTOR SHALL VERIFY THE SIZE AND DETERMINE IF THE EXISTING ELECTRICAL SERVICE WILL BE ADEQUATE FOR NEW AND EXISTING LOADS COMBINED. IF SERVICE IS NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN HIS/HER BID THE COST OF INCREASING THE ELECTRICAL SERVICE ACCORDINGLY.

ALL EXISTING WIRING AND OUTLETS WHICH ARE REMOVED DUE TO DEMOLITION ARE TO BE HANDLED IN STRICT CONFORMITY WITH THE NATIONAL ELECTRIC CODE (N.E.C.).

ULL APPROVED SMOKE/HEAT DETECTORS INDICATED ON THE DRAWINGS ARE TO BE WIRED INTO THE ELECTRICAL SYSTEM. BATTERY OPERATED DETECTORS ARE NOT ACCEPTABLE.

ALL WIRING SHALL BE MINIMUM #12 AND #14 (AS REQUIRED) COPPER. NO ALUMINUM WIRE WILL BE PERMITTED.

CONVENIENCE DUPLEX RECEPTACLES SHALL BE 15 AMP, 125 VOLT, 2 POLE, 3 WIRE, GROUNDING TYPE. PROVIDE GROUND FAULT RECEPTACLES WHERE REQUIRED BY THE N.E.C. AT ALL "WET" AREAS.

ALL NEW INTERIOR/EXTERIOR LIGHTING FIXTURES WILL BE PROVIDED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION.

ALL EXISTING RECEPTACLES, SWITCHES, ETC. SHALL BE REPLACED WITH NEW "DECORA" RECEPTACLES, SWITCHES, ETC. ALL NEW ADDED SWITCHES, RECEPTACLES, ETC. TO BE "DECORA". GENERAL LOCATIONS OF ALL NEW RECEPTACLES, SWITCHES, JUNCTION BOXES, ARE INDICATED ON DRAWINGS. COORDINATE EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

PROVIDE POWER, RECEPTACLES AS REQUIRED FOR APPLIANCES AS SHOWN. COORDINATE EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

PLUMBING

ALL PLUMBING MATERIALS AND INSTALLATIONS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE, PART VI, PLUMBING - CHAPTERS 25 THROUGH 32, UNLESS OTHERWISE NOTED. ALL NEW PLUMBING FIXTURES COMPLETE WITH RELATED FIXTURES AND ACCESSORIES SHALL BE PROVIDED BY THE OWNER WITH THE CONTRACTOR RESPONSIBLE FOR COMPLETE INSTALLATION AND CONNECTIONS.

NEW WATER PIPING SHALL BE TYPE "L" COPPER, HARD TEMPERED WITH DIELECTRIC UNIONS.

REFER TO DRAWINGS FOR LOCATION OF NEW ROOF VENT STACK. COLOR OF PENETRATING STACK, ROOF JACK AND FLASHING SHALL BE BLACK OR BROWN TO MATCH ROOFING COLOR.

ALL PIPING EXPOSED TO THE ELEMENTS SHALL BE INSULATED INCLUDING PIPING LOCATED IN EXTERIOR WALLS.

CONTRACTOR TO VERIFY THE SIZE OF EXISTING DOMESTIC HOT WATER SYSTEM AND DETERMINE IF THE EXISTING SYSTEM WILL BE ADEQUATE FOR NEW AND EXISTING LOADS COMBINED. IF SYSTEM IS NOT ADEQUATE, THE CONTRACTOR SHALL INCLUDE IN HIS/HER BID THE COST OF EXPANDING SAID SYSTEM ACCORDINGLY, AS REQUIRED FOR PROPER PERFORMANCE.

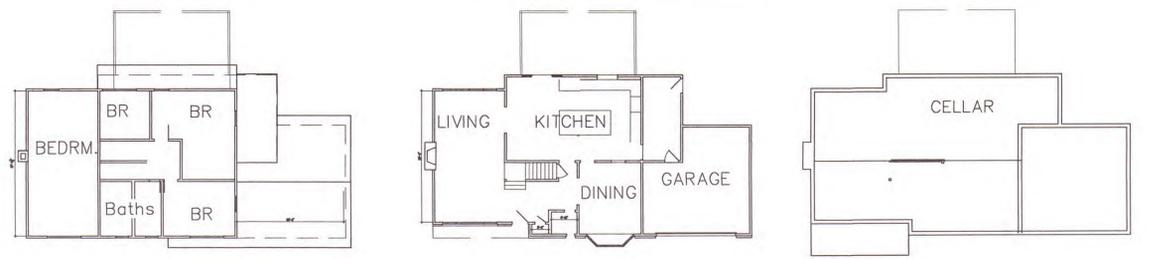
FINISH WORK

ALL FINISH WORK SHALL COMPLY WITH THE MINIMUM REQUIREMENTS SET FORTH BY THE RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE, PART VI, CHAPTER 7 - WALL COVERINGS, UNLESS OTHERWISE NOTED.

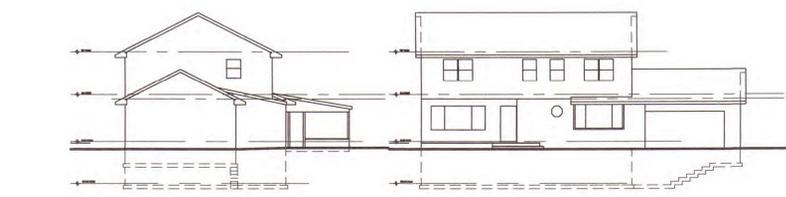
ALL TRIM WORK AND FINISHES ON EXISTING REMAINING WALLS SHALL BE REMOVED BY CONTRACTOR, INCLUDING, BUT NOT LIMITED TO PANELING, WALL PAPER, BRICKS, WINDOW/DOOR 2" CROWN MOLDINGS AND TRIM. ALL EXISTING WALLS TO REMAIN SHALL BE RESTORED TO "AS NEW PLASTER" FINISH. WORK MAY INCLUDE BUT NOT BE LIMITED TO TAPE AND SPACKLE REPAIRS, EXISTING GYPHUM WALLBOARD REMOVAL AND REPLACEMENT, AND NEW GYPHUM WALLBOARD CLADDING OVER EXISTING WALLS. ALL NEW AND EXISTING WALLS SHALL BE TAPE, SPACKLED, PREPARED AND READY FOR NEW PAINT AND/OR CERAMIC TILE FINISHES.

FLOOR FINISHES THROUGHOUT ENTIRE EXISTING HOUSE, INCLUDING BUT NOT LIMITED TO CARPET AND CERAMIC TILE TO BE REMOVED. NEW FLOOR FINISHES TO BE SELECTED BY OWNER. COORDINATE RESPONSIBILITIES OF FURNISHMENT AND INSTALLATION WITH OWNER.

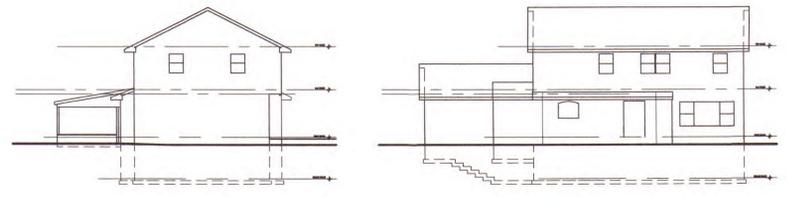
ALL FINISHES IN BATHROOMS AND POWDER ROOM SHALL BE SELECTED BY OWNER. COORDINATE RESPONSIBILITIES OF FURNISHMENT AND INSTALLATION WITH OWNER.



SECOND FLOOR PLAN FIRST FLOOR PLAN FOUNDATION PLAN

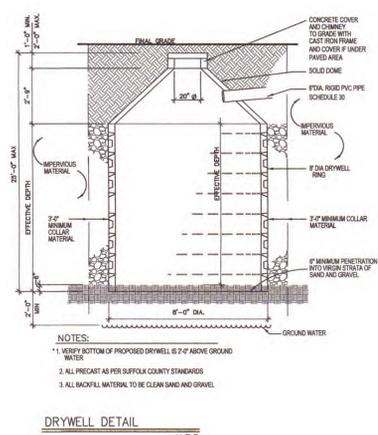


RIGHT SIDE ELEVATION FRONT ELEVATION



LEFT SIDE ELEVATION REAR ELEVATION

EXISTING PLANS AND ELEVATIONS SCALE: 1/16" = 1'-0"



DRYWELL DETAIL N.T.S.

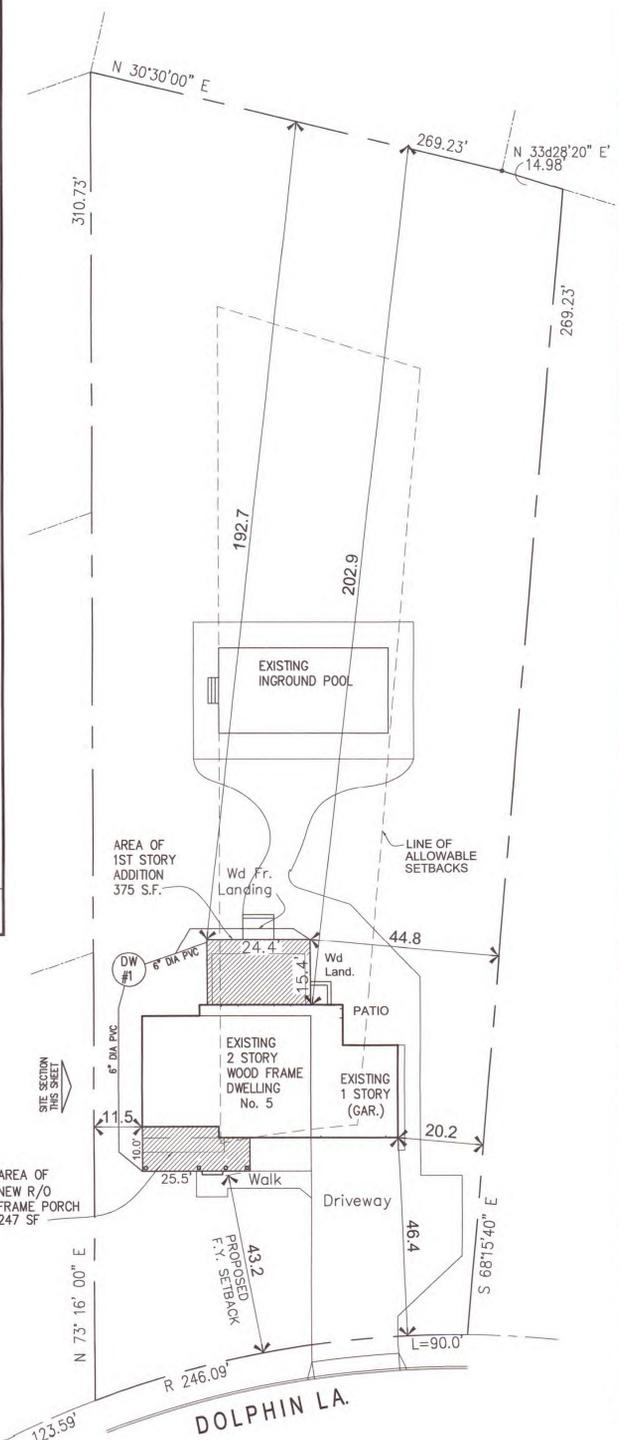
STORM WATER CALCULATIONS

TOTAL AREA OF PROPOSED ADDITIONS 622 SF

DRYWELL # 622 SF x .25 FT. = 156 CU. FT REQUIRED
 156/48 CU. FT PER FT. = 3.4 DEEP REQUIRED
 PROVIDE 1 - 8' DIA. x 4' EFFECTIVE DEPTH

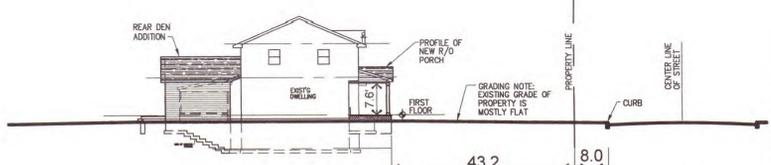
ZONING REQUIREMENTS			
AREA DATA			
EXISTING FIRST FLOOR	1,666.0 SF		
PROPOSED REAR ADDITION	375.0 SF		
PROPOSED FRONT PORCH	247.0 SF		
TOTAL	2,288.0 SF		

BULK REGULATIONS RESIDENCE B			
ITEM	EXISTING	REQ'D	PROPOSED
LOT AREA	28,797 SF	21,780 MIN.	NO CHANGE
LOT WIDTH	92.7'	125' MIN.	NO CHANGE
F.A.R.	5.8%	5.8% MAX.	8.0%
	1666/28797		2288/28797
FRONT YARD	46.4'	50.0' MIN.	43.2'
SIDE YARD MIN.	11.5'	30.0' MIN.	NO CHANGE
SIDE YARD AGG.	31.7"	60.0' MIN.	NO CHANGE
REAR YARD	202.9'	50.0' MIN.	NO CHANGE



SITE PLAN

SCALE: 1" = 20'-0"
 NOTE: STAKE OUT PROPOSED FRONT YARD SETBACK PRIOR TO CONSTRUCTION



SITE SECTION SCALE: 1" = 20'-0"

Project
VEDDER RESIDENCE
 5 DOLPHIN LANE
 NORTHPORT, NY

Architect
MARK WITTENBERG, R.A., P.C.
 656 PARK AVENUE
 HUNTINGTON, NEW YORK
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 Office: (631) 673-0980
 Cell: (516) 220-1759
 E-Mail: mwwitten@aol.com

No.	Date	Revision
3	06/04/20	SITE PLAN FOR ZBA
2	05/08/20	CDS FOR PERMIT & CONSTRUCTION
1	04/22/20	DD-1 TO OWNER



Sheet Name:
**GENERAL NOTES
 EXT'G FLOOR PLANS
 SITE PLAN**

Project Name:
 VEDDER RESIDENCE
 5 DOLPHIN LA
 NORTHPORT, NY

Project No.: 2016

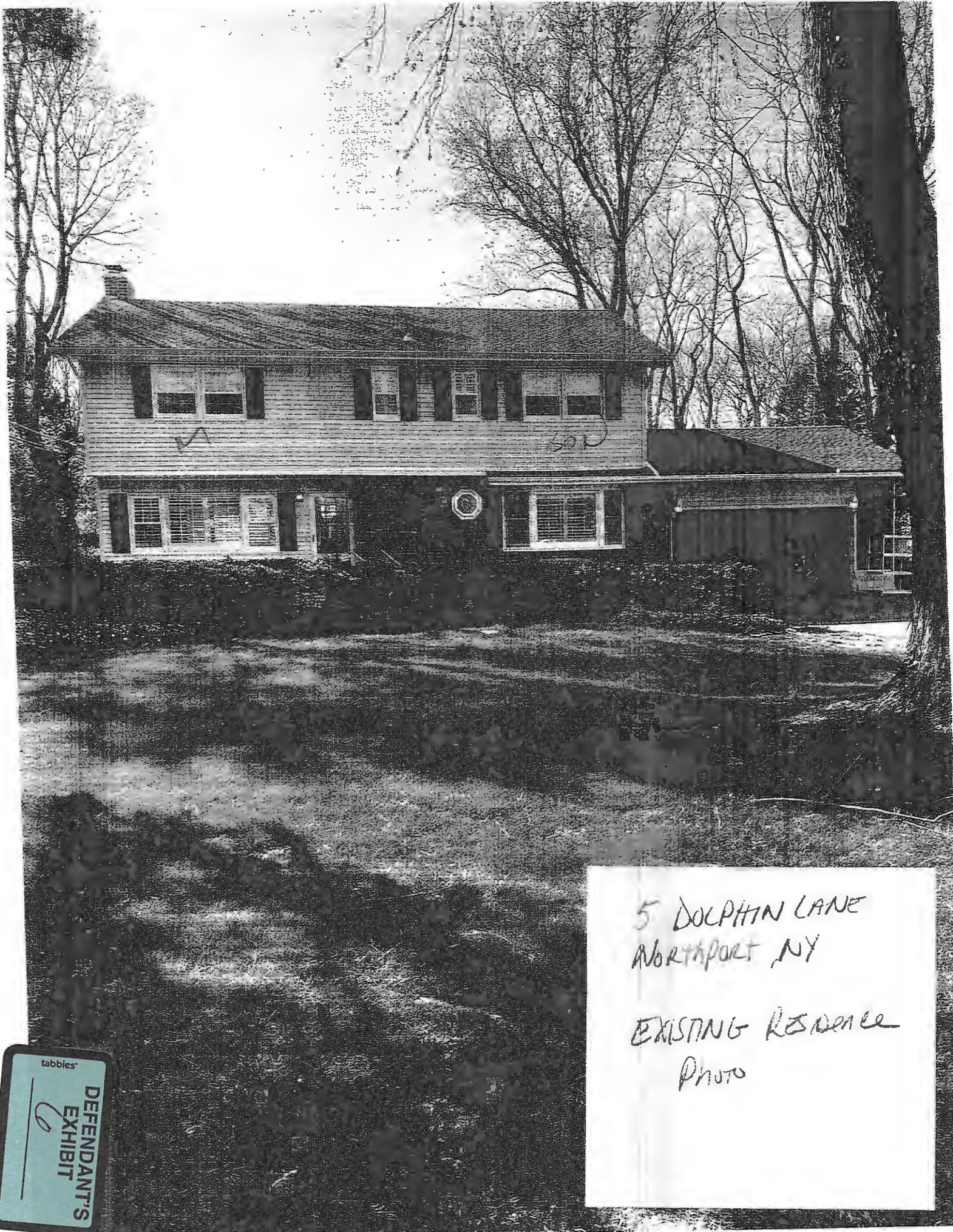
Date: APRIL 14, 2020

Scale: As Noted

Sheet No.: 1 OF X

A1





5 DOLPHIN LANE
NORTHPORT, NY

EXISTING RESIDENCE
PHOTO

tabbles®
DEFENDANT'S
EXHIBIT
9

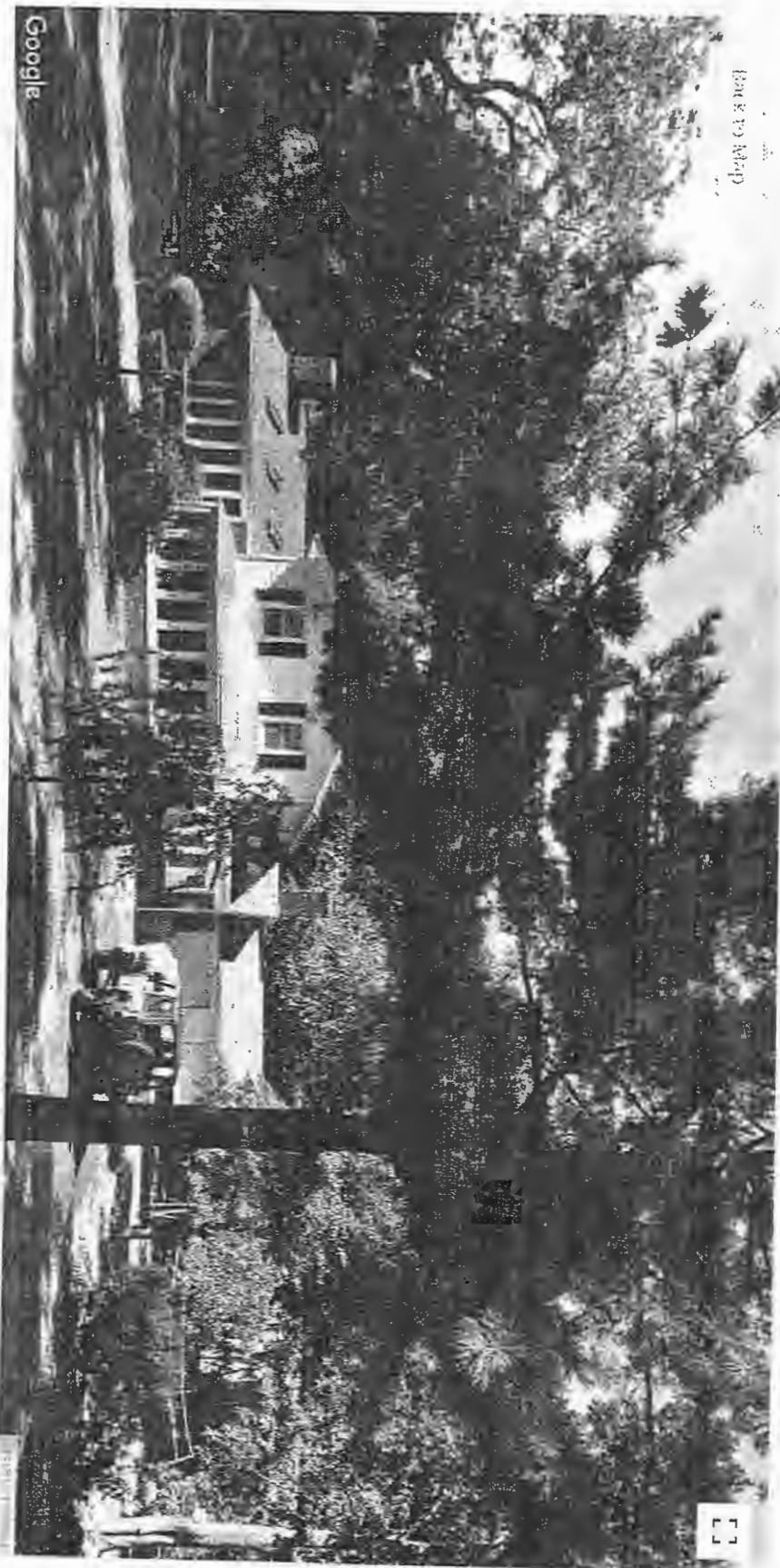
1 Dolphin Ln, Northport, NY 11768 | Zillow

Directions

Save Home

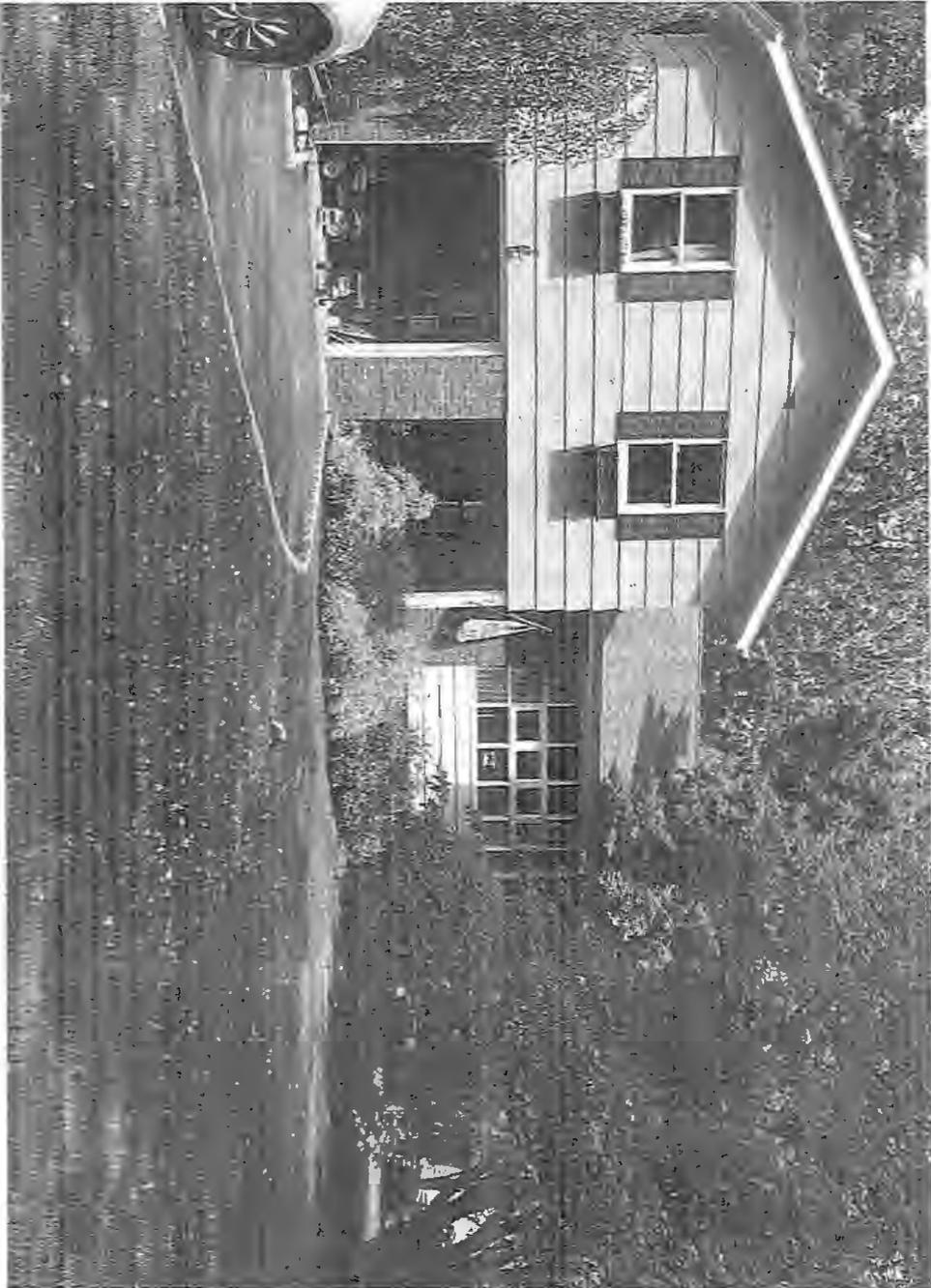
Share

*1 Dolphin Lane
Northport, NY*



Back to Map

Google



2 Dolphin Lane
Northport, NY



60 Dolphin Lane
Northport, NY



9 Dolphin Lane
Northport, NY



10 Dolphin Lane
Northport, NY

33 Dolphin Lane
Northport, NY





29 Dolphin Lane
Northport, NY

6/2/2020

22 Dolphin Ln - Google Maps

Google Maps 22 Dolphin Ln

*22 Dolphin Lane
New York NY*



Google

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6/2/2020

Google Maps 9 Nautilus Ave

9 Nautilus Ave - Google Maps

*4 Nautilus Ave
Northport, NY*



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